



54 Coronation Avenue
ST7 2JX
£220,000



STEPHENSON BROWNE

A fantastic opportunity to purchase this THREE BEDROOM SEMI DETACHED home on the popular Coronation Avenue, conveniently positioned within walking distance of Cranberry Primary School, and just a short distance to Alsager town and its many amenities. Presenting spacious, well thought accommodation, this property appeals to a range of buyers, whether you are an upsizing family or looking to take that first step onto the property ladder!

In brief, the property comprises an entrance hallway, generous lounge, a kitchen/diner with a range of wall, base and drawer units with space for necessary appliances, and provides access the rear garden via patio doors and to the rear porch leading to the separate utility and WC.

To the first floor is a surprisingly spacious landing with a brilliant principal bedroom, enjoying extensive fitted wardrobes along one wall. You will also find a second great size double bedroom, and a well proportioned single, both of which benefit from fitted wardrobes too. The beautiful shower room has recently been modernised throughout.

Externally, the property sits on an impressive plot, with ample parking to the front via the brick paved driveway. The private rear garden is exceptionally large, home to a patio area idea for seating, and lawn presenting established borders incorporating a number of decorative plants, shrubs and bushes.

Situated just off Cranberry Lane, the property is ideally placed for a number of different schools, including Cranberry Academy and Alsager School, with transport links such as the M6 and A500 also both within easy reach. For those with dogs (or who simply like getting out and about), a number of walks are nearby including Cranberry Moss, walks to Hall Farm (including surrounding fields and countryside), and access to Alsager Sports Hub.

Early viewings come highly recommended! To truly appreciate this home's size, location and potential, call Stephenson Browne to book your viewing today!



Entrance Hall

With vinyl laminate effect flooring, dado rail, radiator, ceiling light fitting, door to storage cupboard, stairs to the first floor.

Lounge

12'4" x 12'0"

Enjoying a large UPVC double glazed window to the front elevation, fitted carpet, ample sockets, radiator, two wall mounted light fittings, ceiling light fitting, coving to the ceiling.

Kitchen/Diner

20'3" x 9'4"

Comprising of a range of wall, base and drawer units with working surfaces over, tiled splash back, integral sink with drainer, double oven and five-point gas hob as well as space for a dishwasher. UPVC double glazed window to rear elevation, ample sockets, ceiling light fitting, tile effect flooring, UPVC double glazed sliding doors opening to the rear garden, radiator, ample sockets, coving to the ceiling, ceiling light fitting, fitted storage cupboard within chimney breast recess.

Rear Porch

Ceiling light fitting, UPVC door with double glazed insert opening to the rear garden and a UPVC door opening to the front elevation, and access to...

Utility Room

Boasting additional units with working surfaces over, and space/plumbing for a washing machine, ample sockets, double glazed window to the rear elevation and door to...

Downstairs W/C

With a low level WC, window to the side elevation, ceiling light fitting and tile effect flooring.

Landing

Having fitted carpet, dado rail, ceiling light fitting, airing cupboard, loft access via hatch and doors to all first floor rooms, such as...

Principal Bedroom

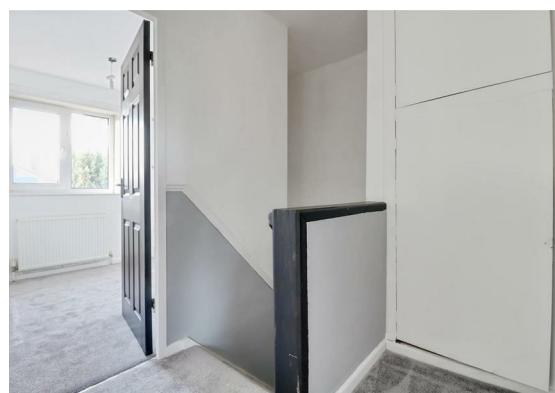
11'11" x 9'4" (to wardrobes)

A generous sized principal bedroom with extensive wardrobes, incorporating shelving, running along one wall. Fitted carpet, ample sockets, ceiling light fitting, radiator and UPVC double glazed window to front elevation.

Bedroom Two

11'1" x 9'5"

Also a well proportioned double bedroom with fitted wardrobes, fitted carpet, UPVC double glazed window to rear elevation, ample sockets, ceiling light fitting and radiator.



Bedroom Three

9'0" x 8'10" (max measurements)

A single bedroom with UPVC double glazed window to front elevation, ample sockets, fitted carpet, ceiling light fitting, radiator and doors to inbuilt storage cupboard/wardrobe.

Shower Room

6'11" x 6'6"

Having been recently fitted enjoying a white suite consisting of a low level push flush WC, hand basin incorporated within fitted storage unit and walk in shower with dual shower head and glass shower screen. Having marble effect tiled walls, wood effect flooring, a UPVC double glazed obscure glass window to rear elevation, ceiling light fitting and wall mounted contemporary radiator.

Outside

To the front of the property is a brick paved driveway, with decorative flower borders and hosts a brick wall boundary to the front and left elevation, with a fence boundary to the right. Via a wooden gate, there is access to the side of the property where you can enter to the rear porch.

The rear garden possesses a paved patio area with gravel borders and raised brick sleepers home to a number of flowers and plants. Steps up to the generous lawn area that comes with established soil borders also incorporating a range of decorative shrubs and flowers, and a hedgerow boundary surrounds the plot.

Council Tax Band

The council tax band for this property is B.

NB: Tenure

We have been advised that the property tenure is FREEHOLD, we would advise any potential purchasers to confirm this with a conveyancer prior to exchange of contracts.

NB: Copyright

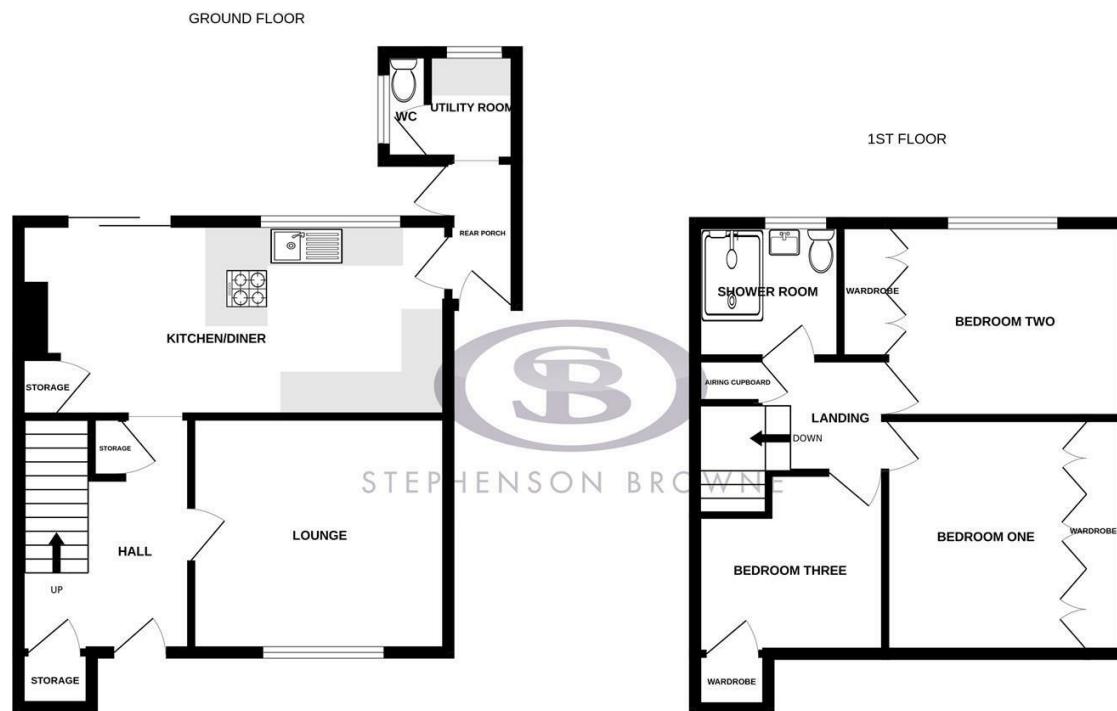
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Alsager AML Disclosure

Agents are required by law to conduct Anti-Money Laundering checks on all those buying a property. Stephenson Browne charge £49.99 plus VAT for an AML check per purchase transaction. This is a non-refundable fee. The charges cover the cost of obtaining relevant data, any manual checks that are required, and ongoing monitoring. This fee is payable in advance prior to the issuing of a memorandum of sale on the property you are seeking to buy.



Floor Plan



Whilst every attempt has been made to ensure the accuracy of the floorplan contained here, measurements of doors, windows, rooms and any other items are approximate and no responsibility is taken for any error, omission or mis-statement. This plan is for illustrative purposes only and should be used as such by any prospective purchaser. The services, systems and appliances shown have not been tested and no guarantee as to their operability or efficiency can be given.

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Area Map



Energy Efficiency Rating		Current	Potential
Very energy efficient - lower running costs			
(92 plus)	A		82
(81-91)	B		
(69-80)	C		
(55-68)	D	66	
(39-54)	E		
(21-38)	F		
(1-20)	G		
Not energy efficient - higher running costs			
England & Wales		EU Directive 2002/91/EC	

Environmental Impact (CO ₂) Rating		Current	Potential
Very environmentally friendly - lower CO ₂ emissions			
(92 plus)	A		
(81-91)	B		
(69-80)	C		
(55-68)	D		
(39-54)	E		
(21-38)	F		
(1-20)	G		
Not environmentally friendly - higher CO ₂ emissions			
England & Wales		EU Directive 2002/91/EC	

Viewing

Please contact our Alsager Office on 01270 883130 if you wish to arrange a viewing appointment for this property or require further information.

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